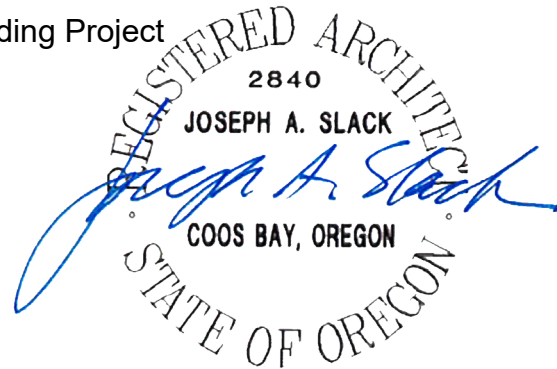


ADDENDUM #1 – APRIL 1, 2026

RE: COQUILLE INDIAN HOUSING AUTHORITY
Single Family Residence Project & Duplex Building Project
Project #24.041

FROM: HGE ARCHITECTS, Inc.
333 South 4th Street
Coos Bay, Oregon 97420
541-269-1166



TO: Prospective Bidders

This Addendum forms a part of the Contract Documents and modifies the original Documents dated March 2026, as noted below. Acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject Bidder to disqualification.

This Addendum consists of **FOUR (4)** page(s) together with the following attachments:

- **Planholders List, dated 3/25/26 (for reference only)**
- **Specification Section 08-5313 Vinyl Windows**
- **REVISED Sheet A2.1 Floor Plan, Details, Schedules** (*Single Family Residence*)
- **Sheet A2.2 Braced Wall Plan** (*Single Family Residence*)
- **REVISED Sheet A2.3 Foundation Plan** (*Single Family Residence*)
- **REVISED Sheet A1.1 ECM & Site Plan** (*Duplex*)
- **REVISED Sheet A1.2 Erosion Control Plan & Details** (*Duplex*)

INFORMATIONAL ONLY:

1. **Clarification of bid format:** The Duplex and Single Family Residence are separate bids, and bidders may bid on one or both projects. Owner will award a single prime contract for each project. Bidders must submit one packet of the documents listed in the *Supplemental Instructions to Bidders – 10) Bid Submission Checklist*. The included bid bond must cover one bid if the bidder is submitting one bid, or both bids if the bidder is submitting both. Photocopies of notarized documents will **not** be accepted.
2. Bidders may schedule notarizing for free through Coquille Indian Housing Authority's Housing Programs Specialist, Tiffany Coonfare. Call CIHA at 541-888-6501.

3. **Section 220-0100:** Contractor shall design these systems to meet local & regional code requirements, referencing Specifications & Diagrammatic Plumbing Plans provided in the Drawings. Per Section 01-6000, submit product data and shop drawings for Owner approval.
4. **Clarification of Davis-Bacon Labor Standards** regarding work classifications not listed (i.e. Plumber):

In the materials provided with the IFB, one of the documents is titled, *Davis Bacon Contractor Guide Addendum*. Pages 14-16 provide information regarding additional work classifications that are not part of the wage decision OR20260004/Mod 0, and the process to recommend a wage rate for the work by the entity that is awarded the contract. Here is the link to that Contractor Guide:

<https://files.hudexchange.info/resources/documents/Davis-Bacon-and-Labor-Standards-Contractor-Guide-Addendum.pdf>

In that document, there is also reference to DOL All Agency Memorandum 213, with a subject of *Application of the Davis-Bacon and Related Acts requirement that wage rates for additional classifications, when "conformed" to an existing wage determination, bear a "reasonable relationship" to the wage rates in that wage determination*. Here is a link to that Memorandum:

<https://www.dol.gov/sites/dolgov/files/WHD/legacy/files/AAM213.pdf>

Once a contract is awarded, the contractor will propose to CIHA a wage rate and fringe rate for a plumber (or other worker not listed in the wage decision, i.e. painters). CIHA will agree, or negotiate with the contractor to reach an agreement, and both parties will sign an SF-1444 form that CIHA will submit to Department of Labor for review and determination.

CHANGES TO PROJECT MANUAL:

1. **Section 01-0110 Table of Contents:** DELETE item 2.01.B, 01-2300 Alternates. No such section exists, and no Alternates are required.
2. **Supplemental Conditions to General Conditions:** REPLACE section footer with “Page 1 of 2” & “Page 2 of 2”. Page 3 does not exist and the document is complete as presented in the Project Manual.

CHANGES TO SHEET SPECIFICATIONS, Sheets G1.1 - G1.2:

1. **Section 08-1433 Stile and Rail Wood Doors:** Revise as follows:
 - a. DELETE “Design Style/Pattern: Simpson – Alliance Door Products, Model 465.”
 - b. REPLACE “Panels: Flat” with “Panels: Molded, colonial style.”
2. **Section 08-1613 Fiberglass Doors:** ADD the following paragraphs:
 - a. Door Style: 6-panel, molded, colonial style.
3. **Section 08-5313 Vinyl Windows:** ADD attached section in its entirety.
4. **Section 09-6500 Tile Flooring:** Change to XL Flooring, “Easy Plank” LVT, 7”x48”.

CHANGES TO DRAWINGS:

1. *Single Family Residence:*
 - a. **Sheet A2.1 Floor Plan, Details, Schedules:** REPLACE with attached revised Sheet. Revision includes adding a furnace enclosure to the garage.
 - b. **Sheet A2.2 Braced Wall Plan:** ADD attached Sheet in its entirety.
 - c. **Sheet A2.3 Foundation Plan and Details:** REPLACE with attached revised Sheet. Revision includes adding a furnace enclosure to the garage.

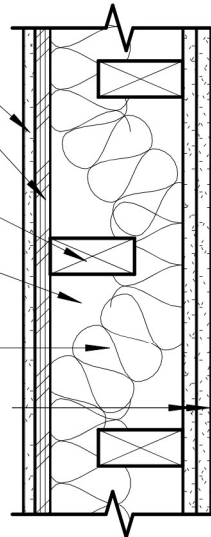
2. Duplex:

- a. **Sheet A1.1 ECM & Site Plan:** REPLACE with attached revised Sheet. Revision includes reduced scope of site grading & erosion control. Add note "4 INCH SAN. SEWER, CONNECT TO (E) SEWER LATERAL W/ CLEAN OUT".
- b. **Sheet A1.2 Erosion Control Plan & Details:** REPLACE with attached revised Sheet. Revision includes reduced scope of site grading & erosion control.
- c. **Sheet A2.1 Floor Plan, Details, Schedules, Detail 2 - Fire & Sound Wall:** REPLACE with the below revised Detail. Revised to show STC-50 and 1-hr rated assembly, GA WP 3371.

STC 50, 1-HR RATED

- 5/8" TYPE X GYP. BD.
- 1/2" STRUCTURAL SHEATHING
- 2x4 STUDS @ 8" O.C.
- 2x6 TOP & BOTTOM PLATES
- 3" MINERAL WOOL BATT
WOVEN BETWEEN STUDS
- (2) LAYERS 5/8" TYPE X GYP. BD.

NOTE: EXTEND FROM
SLAB TO UNDERSIDE
OF ROOF SHEATHING



2

FIRE & SOUND WALL

1 1/2" = 1'-0"

REFERENCE GA WP 3371

SUBSTITUTION APPROVALS: None.

END OF ADDENDUM #1

PLANHOLDERS LIST

Project Number and Name: 24.041 Coquille Indian Housing Authority Single Family Residence & Duplex

Bid Opening Time and Date: April 9, 2 PM

Bid Opening Location: See Advertisement for Bid

Deposit Amount: Architect's Estimate: \$

Company Name	Category	Contact Person	Email	Phone
OWNER				
Coquille Indian Housing Authority	Owner	Debbie Dennis; Scott Platter	debbiedennis@coquilleiha.org scottplatter@coquilleiha.org	541.888.6501
DESIGN TEAM				
HGE ARCHITECTS, Inc.	Architect / Project Manager	Joseph Slack; Konrad Stuebgen	joeslack@hge1.com kstuebgen@hge1.com	541.269.1166
PRIME / GENERAL CONTRACTORS (GC)				
101 Home Care	GC		101homecarellcservices@gmail.com	541.808.8208
ANE Construction LLC	GC	Nathan Koths	aneconstllc@outlook.com	541.707.7660
Backman Construction	GC	Doug Backman	dougbackmanconstructioninc@hotmail.com	541.824.1500
Gary Long Construction	GC	Gary Long	serviceteam@garylong.com	541.269.0579
Goodfellas Construction	GC	Matt Grey	goodfellasconstruction@hotmail.com	541-404-0885
Jenson Family Construction	GC		jensonfamilyconstruction@gmail.com	
Morrison Gederos	GC	Robert Newman	rnewmanmg@gmail.com mg.con.sg@gmail.com	541.260.8588 541.260.3174
Scott Partney Construction	GC	Scott Partney	scott@partneyconstruction.net office@partneyconstruction.net	541.756.7060
Swanson Construction	GC	Chris Swanson	chris@cswansonconstruction.com	
Tom Gayewski Construction	GC	Tom Gayewski	tmski3@frontier.com	541.297.7822
Z Terrell & Son	GC	Zak Terrell	zakterrell@gmail.com	541.670.6341
Lance Leavitt	GC		laleavitt@aol.com	541.404.2264
Randle Bros Construction	GC		randle@charter.net	541.404.7115
Rose Construction	GC		mdmrose@harborside.com	541.756.6281
CJ Hansen Construction	GC		info@cjhansengc.net	541.297.1415
	GC		bradleyjmillier06@gmail.com	

PLANHOLDERS LIST

Project Number and Name: 24.041 Coquille Indian Housing Authority Single Family Residence & Duplex

Bid Opening Time and Date: April 9, 2 PM

Bid Opening Location: See Advertisement for Bid

Deposit Amount: Architect's Estimate: \$

	Company Name	Category	Contact Person	Email	Phone
SUBCONTRACTORS (SUB) / SUPPLIERS (SUPP)					
	Clean Rivers Pacific	Sub	Richard Ziegler	cleanriversrichard@gmail.com	541.551.1509
	Westbound Heating	Sub	Brandon Lloyd	brandonlloyd@westboundheating.com	541.294.5161
	Acacia Paint	Sub	Don Erickson	estimating@acacia2.com	541.404.6218
	Johnson Rock Products	Sub	Kortney Johnson	kortney@johnsonrockproducts.com	541.269.2000
	Addcox Heating	Sub	Mike Bernheisel Anthony Meza	mike@addcox.com anthony@addcox.com	541.430.1491
	Lloyd Electric	Sub		lloydelectricllc@gmail.com	
	Tri-County Plumbing	Sub	Wes Plummer	wes@tri-county.com	

PLANHOLDERS LIST

Project Number and Name: 24.041 Coquille Indian Housing Authority Single Family Residence & Duplex

Bid Opening Time and Date: April 9, 2 PM

Bid Opening Location: See Advertisement for Bid

Deposit Amount: Architect's Estimate: \$

Company Name	Category	Contact Person	Email	Phone
PLAN EXCHANGES (Exch)				
DJC Plan Center	Exch	Plan Room	plancenter@DJCOregon.com	503-274-0624
Seattle DJC	Exch		plans@djc.com	206-622-8272
Builders Exchange of Washington, Inc.	Exch	Production Dept.	production@bxwa.com	425-258-1303
Eugene Builders Exchange	Exch	Jeremy Moritz	info@ebe.org	541-484-5331
Plan Center Northwest	Exch	Brie Kidwell	brie@plancenternw.com	503-650-0148
Salem Contractors Exchange	Exch	Lori Cooley	plans@sceonline.org	503-362-7957
Premier Builders Exchange	Exch	Kendra Connelly Chyna Kennedy	admin@plansonfile.com	541.389.0123
Medford Builders Exchange	Exch	Tim O'Sullivan	planroom@medfordbuilders.com	541.773.5327
Dodge Data & Analytics	Exch	Adam Bouman	projectdata@construction.com	800-768-5594
Tri-City Construction Council	Exch	Kailey Casey	bidinfo@tcplancenter.com	509.582.7424
Spokane Regional Plan Center	Exch	Robyn Stevens	robyns@plancenter.net	509.328.9600
Construction Connect	Exch	Amanda Beyer	Content@constructconnect.com	513.458.5837

SECTION 085313 - VINYL WINDOWS

PART 1 GENERAL

SECTION INCLUDES

Vinyl-framed, factory-glazed windows.

Factory fabricated tubular extruded plastic windows with fixed and operating sash.

Operating hardware.

Insect screens.

RELATED REQUIREMENTS

PART 2 PRODUCTS

MANUFACTURERS

Vinyl Windows:

JeldWen Premium Vinyl Windows, V-4500 Series.

Milgard Style Line, Tuscany Series.

Substitutions: See Section 016000 - Product Requirements.

DESCRIPTION

Vinyl Windows: Factory fabricated frame and sash members of extruded, hollow, ultra-violet-resistant, polyvinyl chloride (PVC) with integral color; with factory-installed glazing, hardware, related flashings, anchorage and attachment devices.

Configuration: As indicated on drawings.

Color: White.

COMPONENTS

Glazing: Insulated double pane, annealed glass, clear, low-E coated, argon filled, with glass thicknesses as recommended by manufacturer for specified wind conditions and acoustic rating indicated.

Windows: Extruded, hollow, tubular, ultra-violet resistant polyvinyl chloride (PVC) with integral color; factory fabricated; with vision glass, related flashings, anchorage and attachment devices.

Performance Requirements: AAMA/WDMA/CSA 101/I.S.2/A440 R15.

Configuration: Fixed, non-operable, outward opening, top hinged, horizontal sliding, and double hung sash.

Insect Screen Frame: Rolled aluminum frame of rectangular sections; fit with adjustable hardware; nominal size similar to operable glazed unit.

Insect Screens: Woven aluminum mesh; 14/18 mesh size.

Color: Black.

HARDWARE

Horizontal Sliding Sash: Rigid PVC interfacing tracks with dual brass wheel and stainless steel axle assembly housing, provide two sets for each operating sash and opening stops in head and sill track as required.

Sash lock: Lever handle and keeper with cam lock, provide at least one for each operating sash.

Window Opening Control Devices (WOCD): Provide operable window sash hardware that limits openings to only allow passage of 4 inch diameter rigid sphere or less, and are easily releasable to fully open without use of keys, tools, or special knowledge.

Finish of Exposed Hardware: Baked enamel, match interior sash and frame color.

FABRICATION

Fabricate framing, mullions and sash members with fusion welded corners and joints, in a rigid jig. Supplement frame sections with internal reinforcement where required for structural rigidity.

Form snap-in glass stops, closure molds, weather stops, and flashings of extruded PVC for tight fit into window frame section.

Arrange fasteners to be concealed from view.

Permit internal drainage weep holes and channels to migrate moisture to exterior. Provide internal drainage of glazing spaces to exterior through weep holes.

Factory glaze window units.

PART 3 EXECUTION

INSTALLATION

Install window unit assemblies in accordance with manufacturers instructions and applicable building codes.

Attach window frame and shims to perimeter opening to accommodate construction tolerances and other irregularities as necessary.

Align window plumb and level, free of warp or twist, and maintain dimensional tolerances and alignment with adjacent work.

CLEANING

Remove protective material from pre-finished surfaces.

Wash surfaces by method recommended and acceptable to window manufacturer; rinse and wipe surfaces clean.

CONSTRUCTION

#	DATE	DESCRIPTION
1	4/1/26	ADD #1

DATE: MAR 2026

SHEET TITLE:
FLOOR PLAN,
DETAILS,
SCHEDULES

A2.1

ROOM FINISH SCHEDULE		
ROOM NAME	FLOOR FINISH	BASE
MAIN BEDROOM	LVT	RB
GUEST BEDROOM	LVT	RB
GREAT ROOM	LVT	RB
KITCHEN	LVT	RB
DINING	LVT	RB
LAUNDRY	RES	RB
BATH 1	RES	RB
HALL	LVT	RB
CLOSET	LVT	RB
BATH 2	RES	RB
GARAGE	LVT	RB

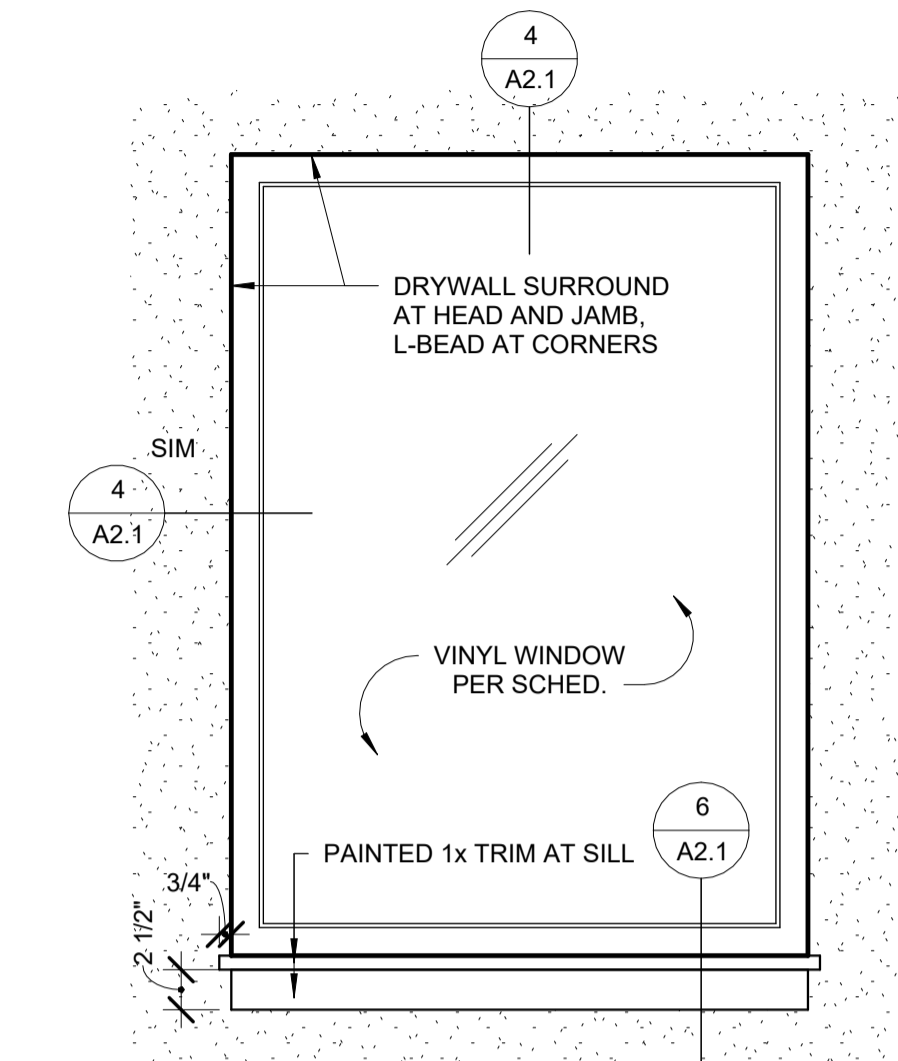
NOTE: ALL WALLS & CEILINGS TO BE PAINTED GYP BD/LEP UNO

FINISH LEGEND

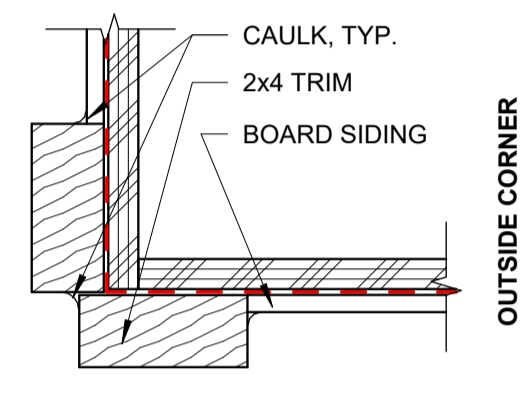
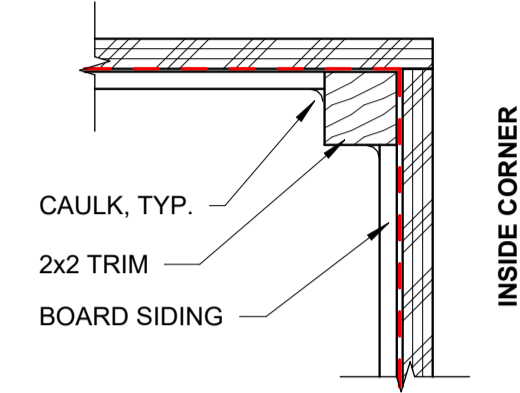
RBR	RUBBER BASE
LVT	LUXURY VINYL TILE
RES	HEAT-WELDED RESILIENT FLOOR
LEP	LATEX ENAMEL PAINT

DOOR SCHEDULE					
DOOR NO.	SIZE (WxH)	DOOR MATERIAL	FRAME MATERIAL	NOTES	COUNT
1	3'-0" X 6'-8"	WD	WD	ENTRY DOOR W/ 12" SIDE LITE	1
2	6'-0" X 6'-8"	WD	WD	DUAL ENTRY DOOR, ONE SIDE FIXED	1
3	3'-0" X 6'-8"	WD	WD	GARAGE ENTRY DOOR	1
4	3'-0" X 6'-8"	WD	WD	TYP. INTERIOR DOOR	6
5	3'-0" X 6'-8"	WD	WD	BIFOLD DOOR	3
6	3'-0" X 6'-8"	WD	WD	SEE PLAN	1
7	16'-0" X 6'-8"	-	-	OVERHEAD GARAGE DOOR	1
8	3'-0" X 6'-8"	WD	WD	POCKET DOOR	1
9	3'-0" X 6'-8"	WD	WD	HVAC ENCLOSURE DOOR	1

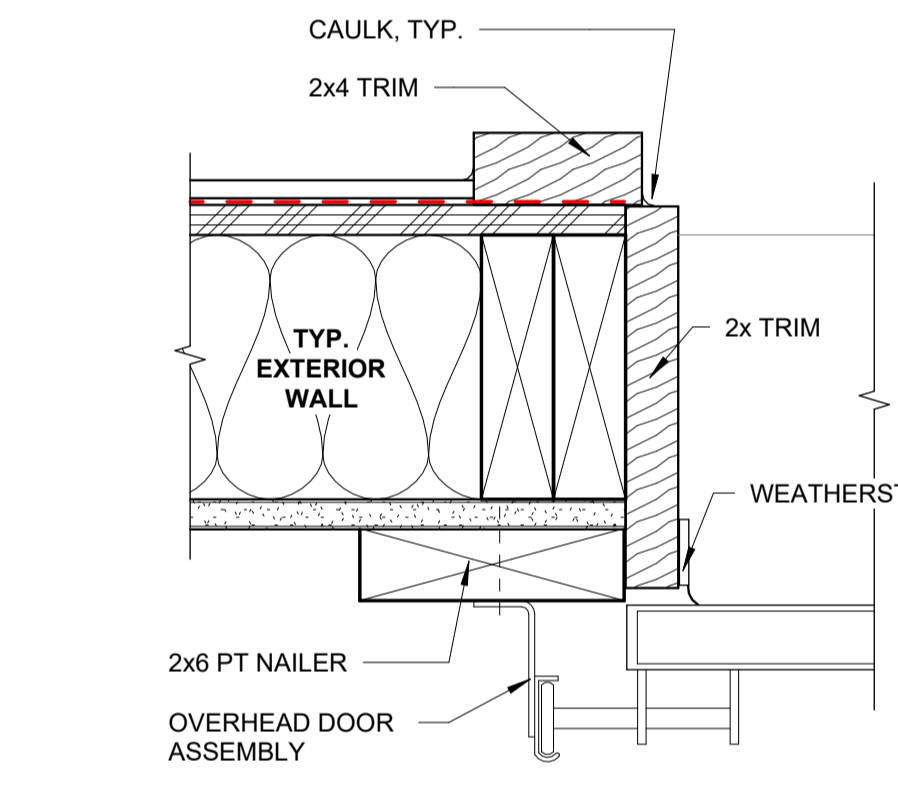
WINDOW SCHEDULE					
MARK	SIZE (WxH)	COUNT	TYPE	NOTES	
A	4'-0" X 4'-0"	2	FIXED, VINYL		
B	6'-0" X 4'-0"	2	SLIDER, VINYL	BEDROOM EGRESS WINDOW	
C	2'-0" X 3'-0"	2	SLIDER, VINYL		
D	4'-0" X 3'-0"	2	SLIDER, VINYL		



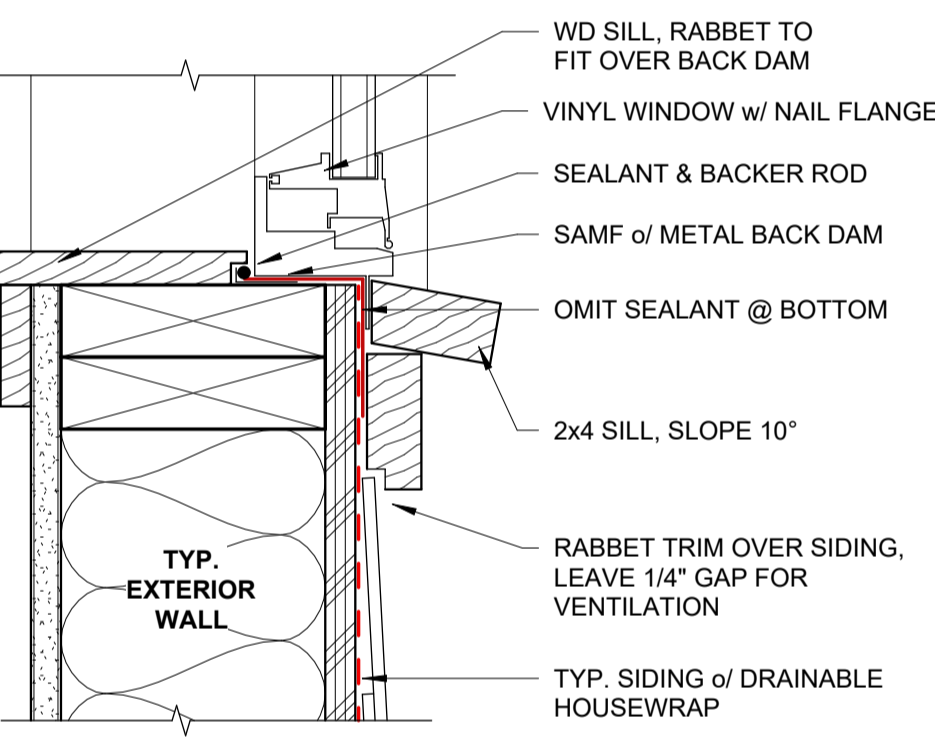
9 INTERIOR WINDOW TRIM
N.T.S.



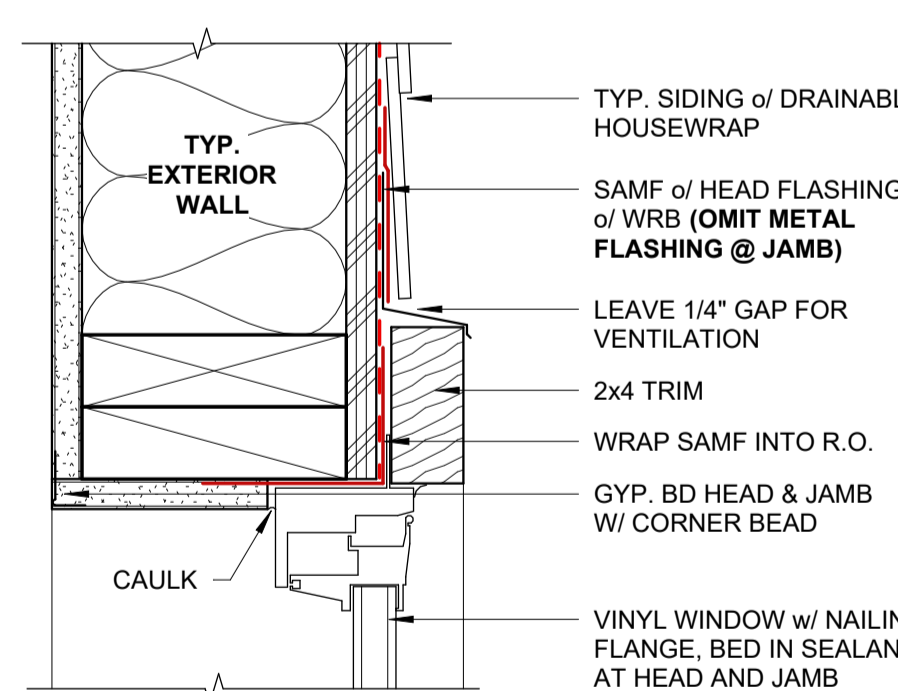
8 TYP. CORNER TRIM
3" = 1'-0"



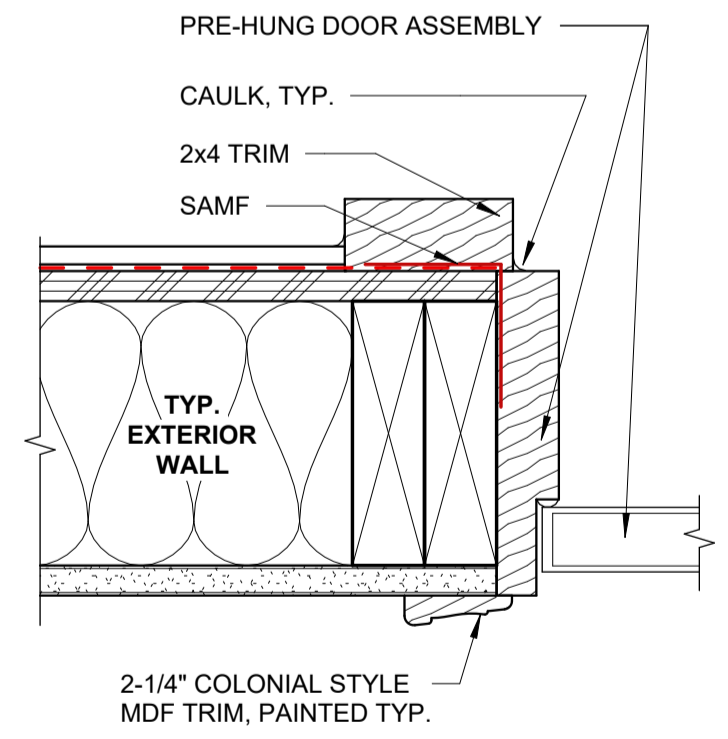
7 GARAGE DOOR JAMB
3" = 1'-0"



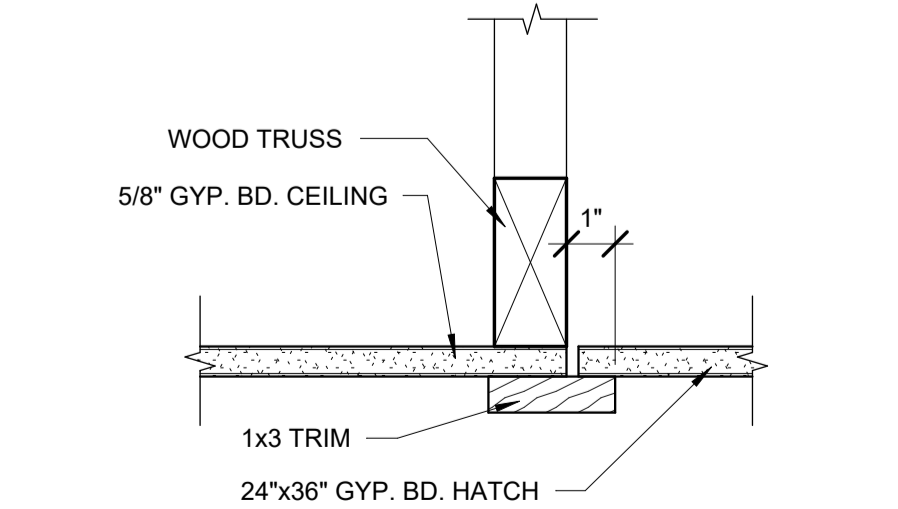
6 WINDOW SILL
3" = 1'-0"



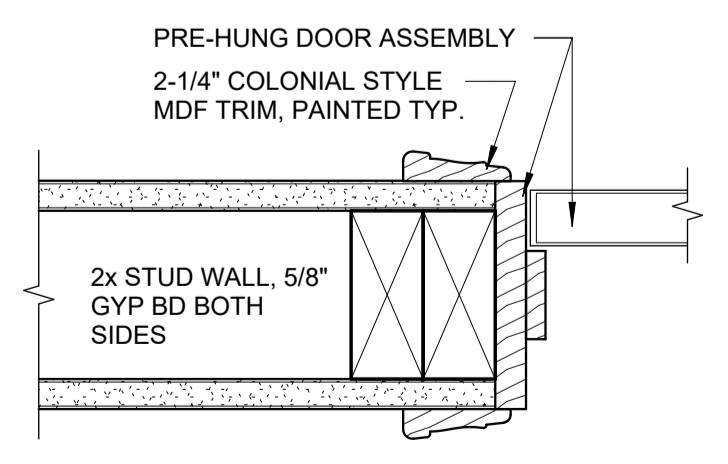
5 WINDOW HEAD/JAMB
3" = 1'-0"



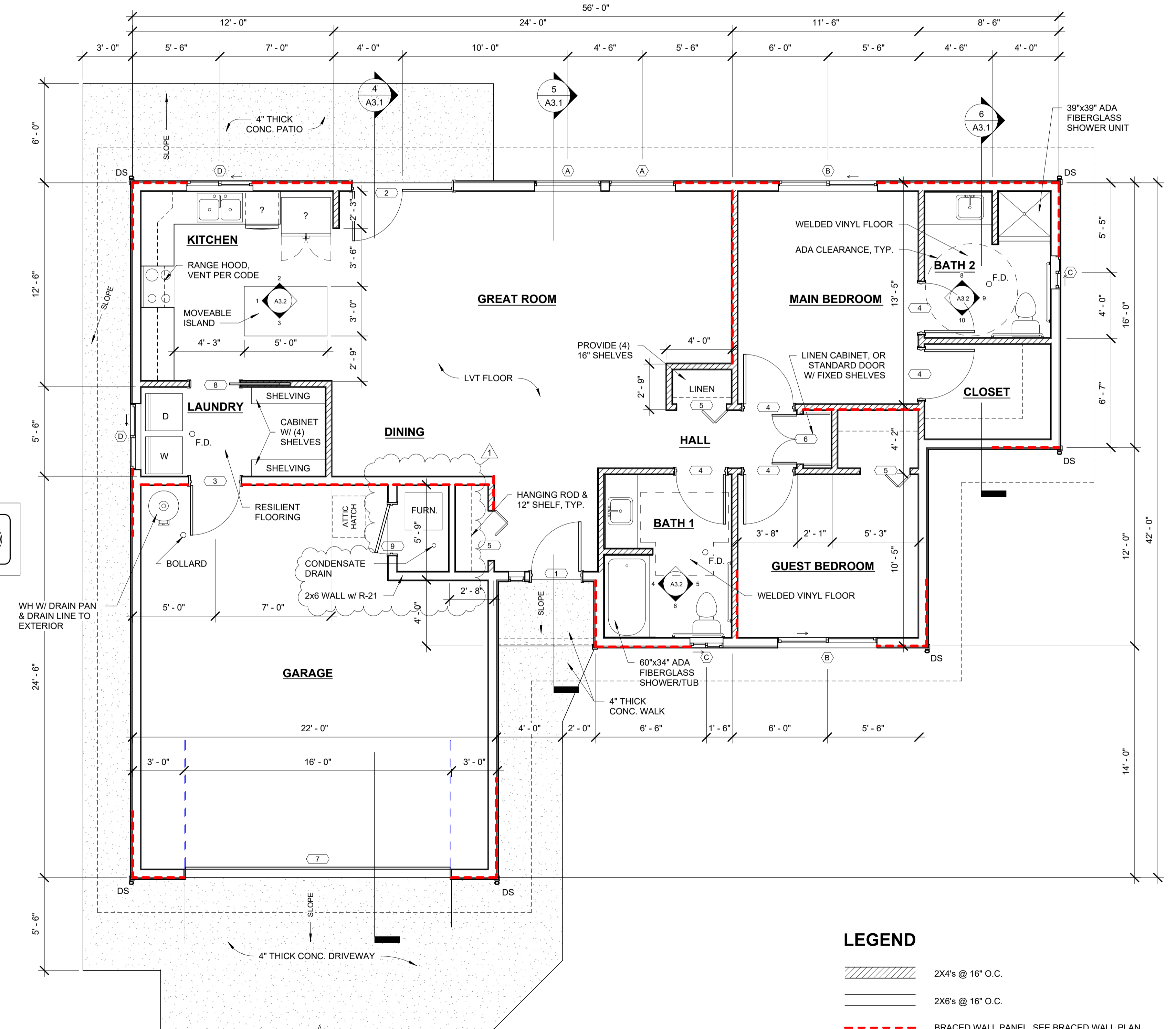
4 EXTERIOR DOOR HEAD/JAMB
3" = 1'-0"



3 ATTIC HATCH
3" = 1'-0"



2 INTERIOR DOOR HEAD/JAMB
3" = 1'-0"



1 FLOOR PLAN - 504 ADAPTABLE UNIT
1/4" = 1'-0"

LEGEND

- 2x4's @ 16" O.C.
- 2x6's @ 16" O.C.
- BRACED WALL PANEL, SEE BRACED WALL PLAN

NOTE:
VERIFY ALL FINISHES & MATERIALS W/ OWNER.
SEE PLUMBING PLAN FOR FLOOR DRAIN LOCATIONS.

BRACED WALL SCHEDULE

GENERAL INFORMATION

BRACED WALL PANEL METHOD: **CS-WSP**
(CONTINUOUSLY SHEATHED WOOD STRUCTURAL PANEL)
MIXED METHODS NOT PERMITTED IN CATEGORY D
• MIN. PANEL WIDTH PER TABLE 602.10.5: 24" FOR OPENINGS < 64" IN HEIGHT.
• TYPICAL WALL FRAMING 2x6 @ 16" O.C.
• 7/16 PLYWOOD SHEATHING
• FASTENERS: 8d COMMON (2.75" x 0.131"), SPACING 6" @ EDGES, 12" @ FIELD

SEISMIC CATEGORY: D - RECLASSIFIED FROM CATEGORY E
2.1 ALL SHEAR WALL LINES AND BRACED WALL PANELS ARE IN ONE PLANE.
2.2 FLOORS DO NOT CANTILEVER PAST EXTERIOR WALLS.
2.3 THE BUILDING IS CONSIDERED REGULAR PER R301.2.2.6:
1. NO OFFSET BRACED WALLS OUT OF PLANE.
2. ROOF IS Laterally SUPPORTED ON ALL EDGES.
3. NO OFFSET BRACED WALLS IN PLANE.
4. NO FLOOR OR ROOF OPENINGS.
5. NO FLOOR LEVEL OFFSETS.
6. ALL SHEAR WALLS AND BRACED WALLS ARE PERPENDICULAR.
7. NO MASONRY CONSTRUCTION.

BASIC DESIGN WIND SPEED: 120 MPH - SPECIAL WIND REGION
ADJUSTMENT FACTOR: 0.89 PER TABLE R301.2.1(2)
1. SURFACE ROUGHNESS B, EXPOSURE B
2. MEAN ROOF HEIGHT: 13'
ADJUSTED WIND SPEED: 107 MPH

PRODUCT OF WIND SPEED ADJUSTMENT FACTORS ----- **1.30**

- | | |
|--|------|
| 1. EXPOSURE CATEGORY: D, ONE-STORY STRUCTURE | 1.0 |
| 2. ROOF EAVE-RIDGE HEIGHT: 10.2' | 1.0 |
| 3. WALL HEIGHT: 8' | 1.0 |
| 4. MAX. NUMBER OF BRACED WALL LINES: 4 | 1.45 |
| 5. ADDITIONAL HOLD DOWNS: NONE | N/A |
| 6. INTERIOR GYPSUM BOARD FINISH: NOT OMITTED | N/A |
| 7. GYPSUM BOARD FASTENING: N/A | N/A |
| 8. HORIZONTAL BLOCKING: N/A | N/A |

PRODUCT OF SEISMIC ADJUSTMENT FACTORS ----- **0.85**

- | | |
|---|-----|
| 1. WALL HEIGHT: ≤ 10' | 1.0 |
| 2. TOWNHOUSE BWL SPACING - N/A | N/A |
| 3. BWL SPACING IN SDC D _e , D _i , D _o : < 25' | 1.0 |
| 4. WALL DEAD LOAD ≤ 8 PSF | .85 |
| 5. ROOF/CEILING DEAD LOAD FOR WALL SUPPORTING-
1-2 OR 3-STORY BUILDING: ≤ 15 PSF | 1.0 |
| 6. WALLS W/ MASONRY VENEER: N/A | N/A |
| 7. WALLS W/ MASONRY VENEER: N/A | N/A |
| 8. WALLS W/ MASONRY VENEER: N/A | N/A |
| 9. INTERIOR GYPSUM BOARD: NOT OMITTED | N/A |
| 10. HORIZONTAL BLOCKING: NOT OMITTED | N/A |

BRACED WALL LINES & PANELS

TABLE R602.10.3.(1) AND (3)

BWL A-13: 36.5' OVERALL

MIN REQ'D BRACED WALL LENGTH:	WIND - 6.5	TABLE 6.5	ADJUSTED 4.8	ACTUAL 13.0
	SEISMIC - 6.1		5.2	

BWL A-34: 19.5' OVERALL

MIN REQ'D BRACED WALL LENGTH:	WIND - 3.5	TABLE 3.5	ADJUSTED 4.8	ACTUAL 13.5
	SEISMIC - 3.1		2.6	

BWL B-13: 36.5' OVERALL

MIN REQ'D BRACED WALL LENGTH:	WIND - 6.5	TABLE 6.5	ADJUSTED 8.5	ACTUAL 17.7
	SEISMIC - 6.1		5.2	

BWL B-34: 19.5' OVERALL

MIN REQ'D BRACED WALL LENGTH:	WIND - 3.5	TABLE 3.5	ADJUSTED 4.8	ACTUAL 11.0
	SEISMIC - 3.1		2.6	

BWL C: 23.0' OVERALL

MIN REQ'D BRACED WALL LENGTH:	WIND - 5.0	TABLE 5.0	ADJUSTED 6.5	ACTUAL 10.4
	SEISMIC - 4.6		3.9	

BWL D: 25.0' OVERALL

MIN REQ'D BRACED WALL LENGTH:	WIND - 5.0	TABLE 5.0	ADJUSTED 6.5	ACTUAL 11.8
	SEISMIC - 4.6		3.9	

NOTE: BWL A AND B ARE GREATER THAN 50' IN LENGTH. PER 602.10.3(3) NOTE C, THIS PLAN TREATS THEM AS INDIVIDUAL SEGMENTS SPLIT ALONG GRIDLINE 3.

BWL 1: 42.0' OVERALL

MIN REQ'D BRACED WALL LENGTH:	WIND - 8.0	TABLE 8.0	ADJUSTED 10.4	ACTUAL 12.0
	SEISMIC - 7.7		6.5	

BWL 2: 25.0' OVERALL

MIN REQ'D BRACED WALL LENGTH:	WIND - 5.0	TABLE 5.0	ADJUSTED 6.5	ACTUAL 8.0
	SEISMIC - 4.6		3.9	

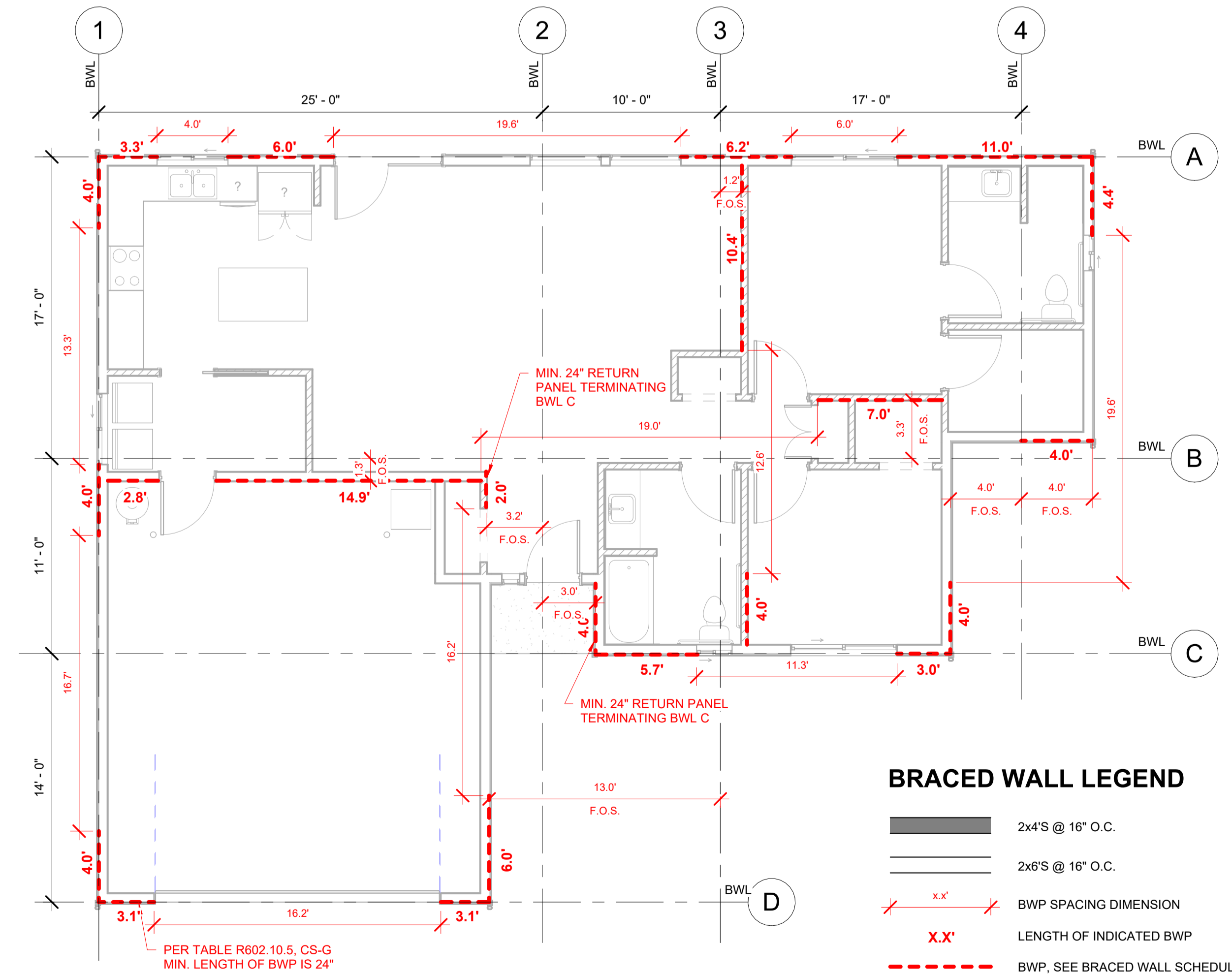
BWL 3: 28.1' OVERALL

MIN REQ'D BRACED WALL LENGTH:	WIND - 5.0	TABLE 5.0	ADJUSTED 6.5	ACTUAL 14.4
	SEISMIC - 4.6		3.9	

BWL 4: 28.1' OVERALL

MIN REQ'D BRACED WALL LENGTH:	WIND - 5.0	TABLE 5.0	ADJUSTED 6.5	ACTUAL 8.8
	SEISMIC - 4.6		3.9	

BOLDED VALUE INDICATES PREVAILING DESIGN CRITERIA



TRUE PLAN NORTH NORTH
1 BRACED WALL PLAN
3/16" = 1'-0"

PROJECT NO.: 24-041
COQUILLE INDIAN HOUSING AUTHORITY
TWO BEDROOM LAYOUT - 2865 MEXEYE LOOP

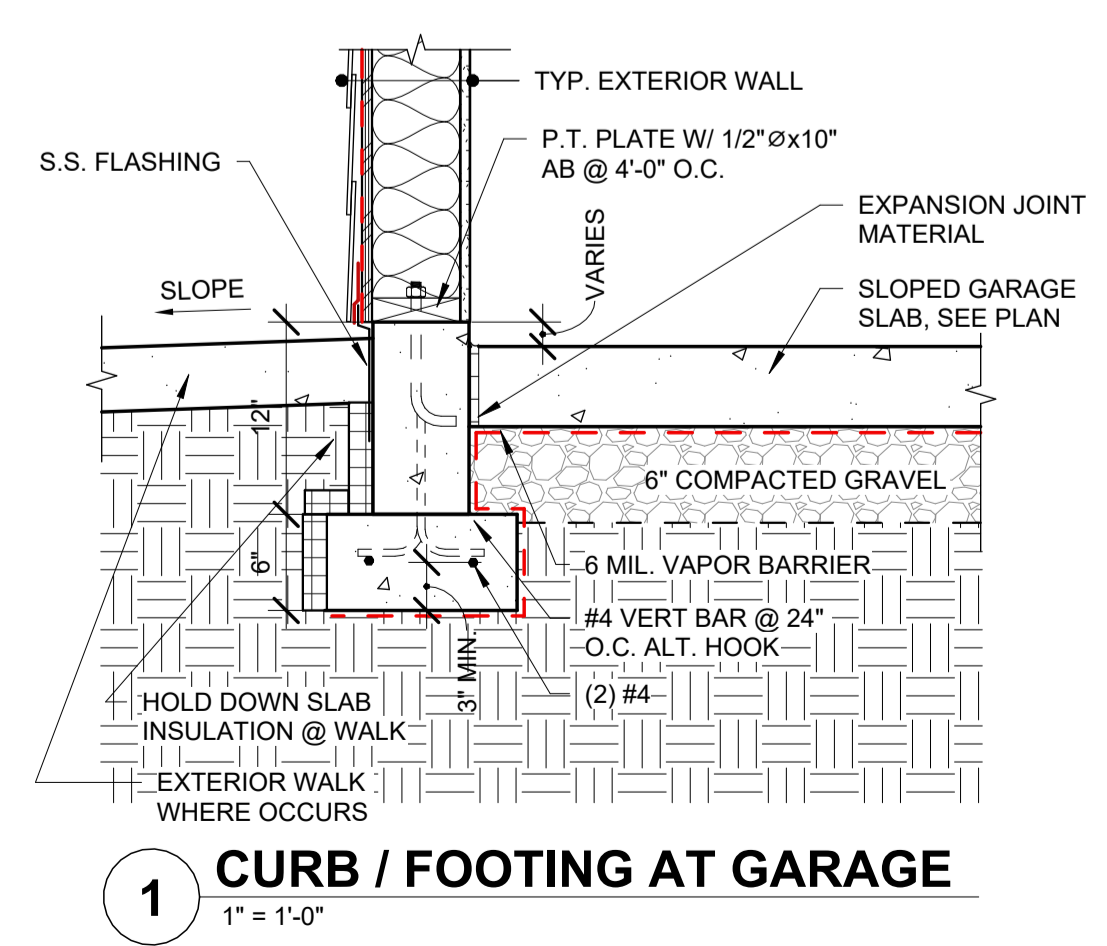
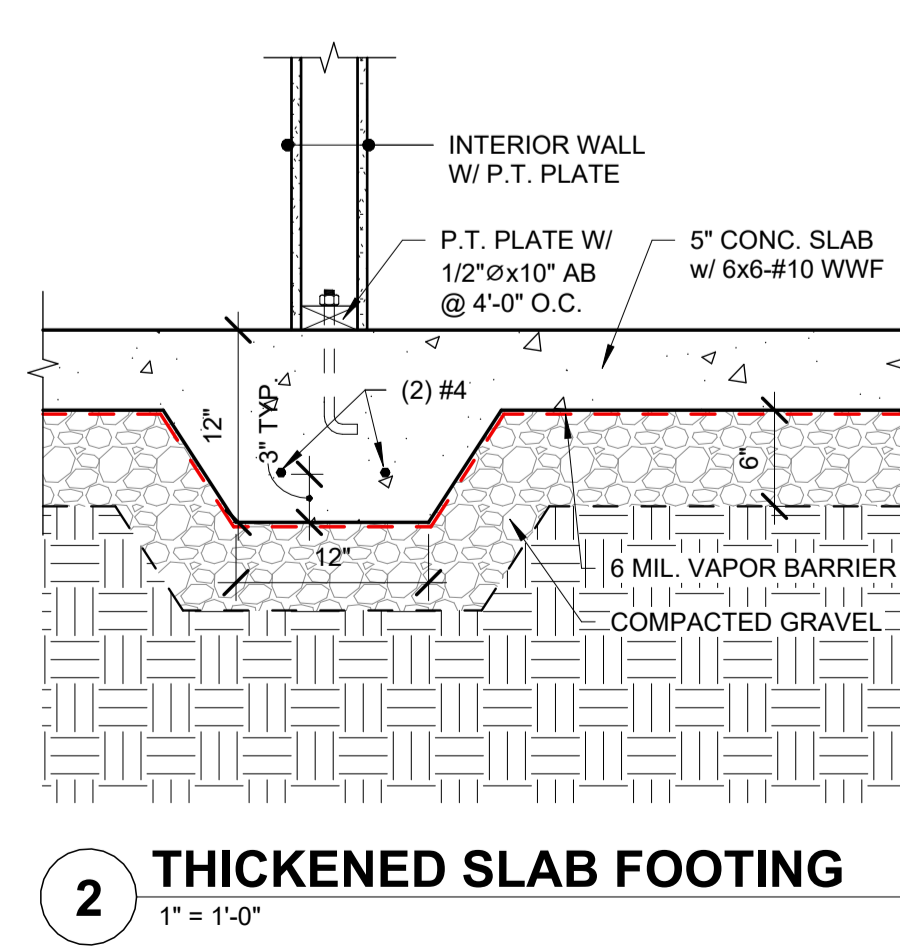
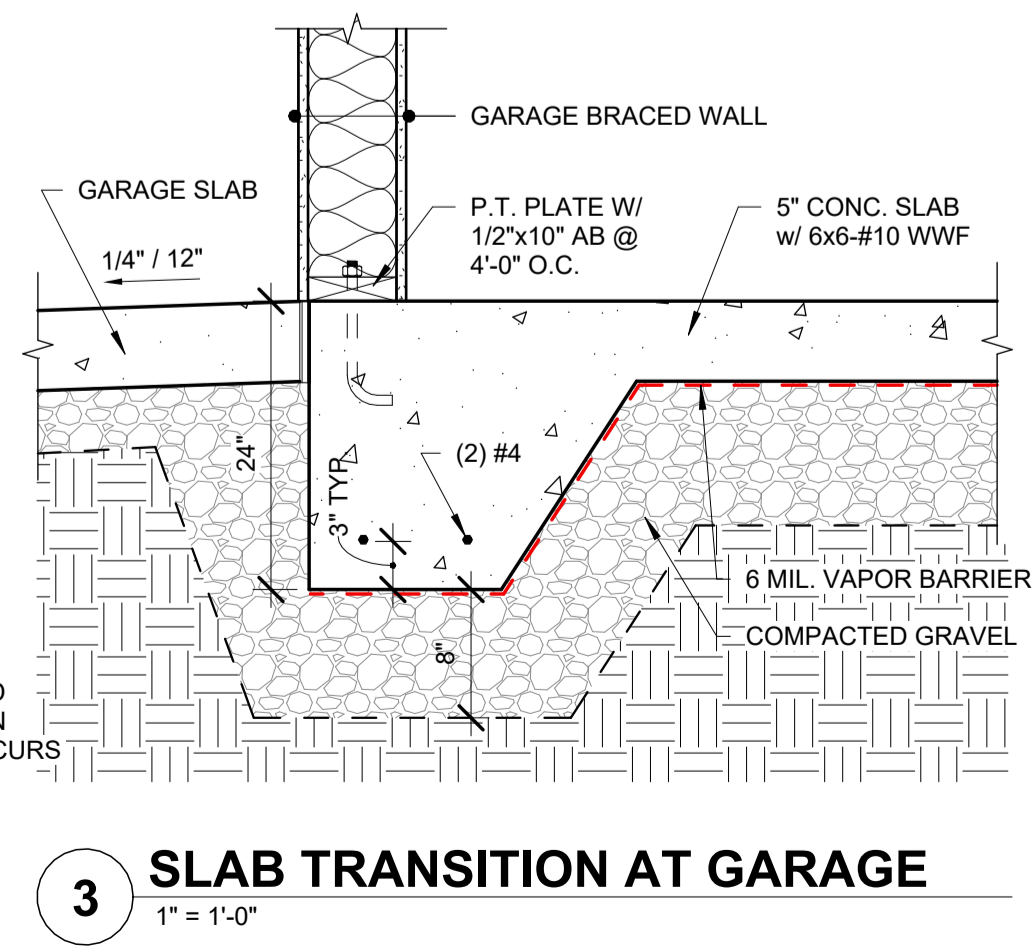
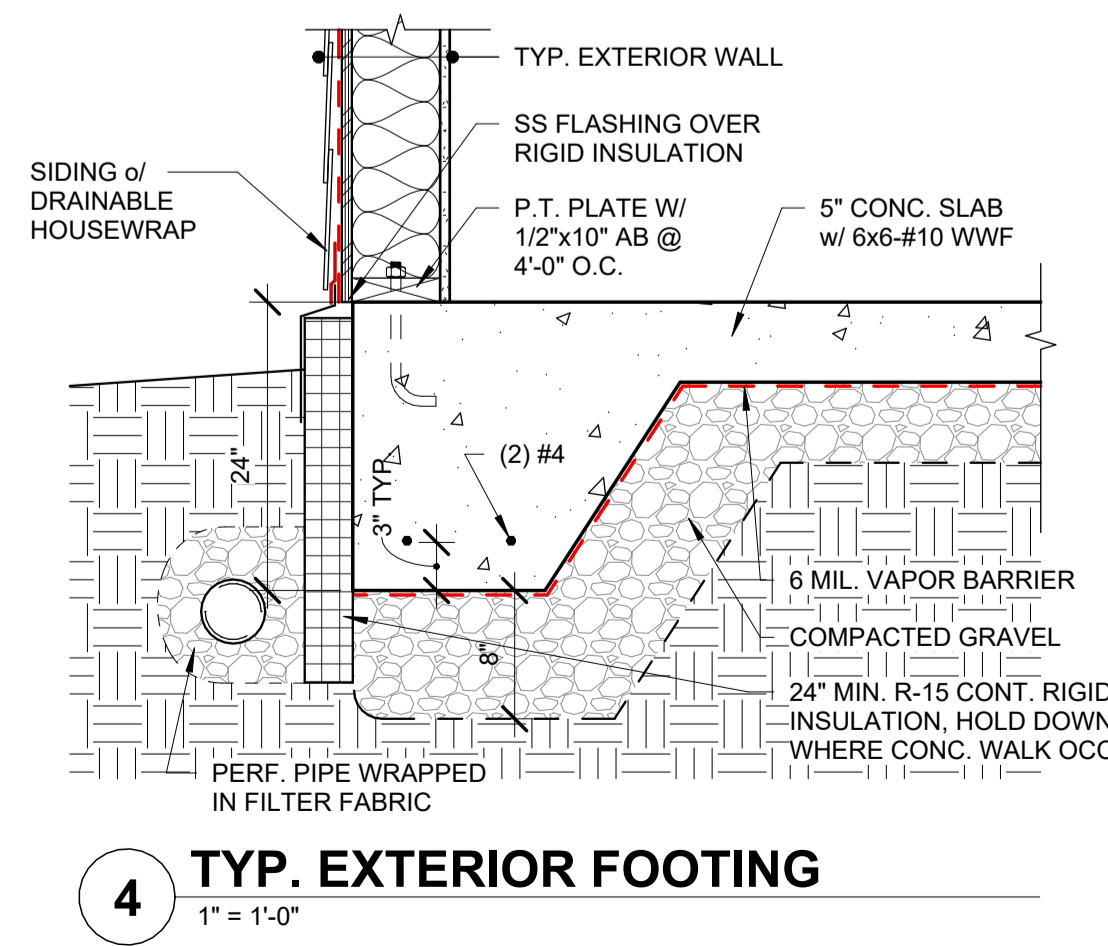
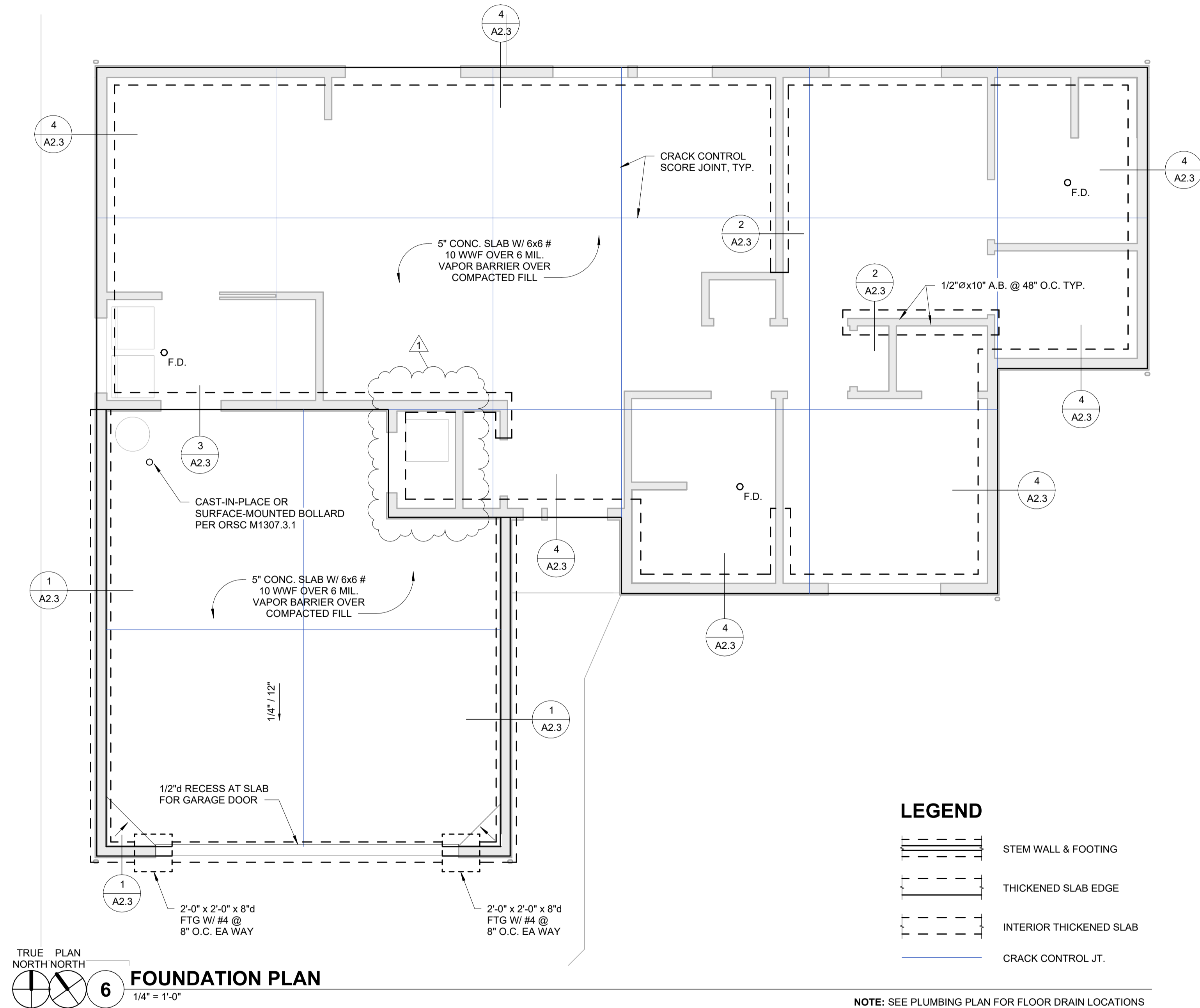
CONSTRUCTION

REVISIONS:
DATE DESCRIPTION

DATE: MAR 2026

SHEET TITLE:
BRACED WALL PLAN

A2.2



CONSTRUCTION

REVISIONS:	DATE	DESCRIPTION
#	4/1/26	ADD #1

DATE: MAR 2026
SHEET TITLE:
FOUNDATION PLAN AND DETAILS

A2.3

CONSTRUCTION

REVISIONS:	#	DATE	DESCRIPTION
	1	4/1/26	ADD #1

DATE: MAR 2026

SHEET TITLE:
ECM & SITE PLAN

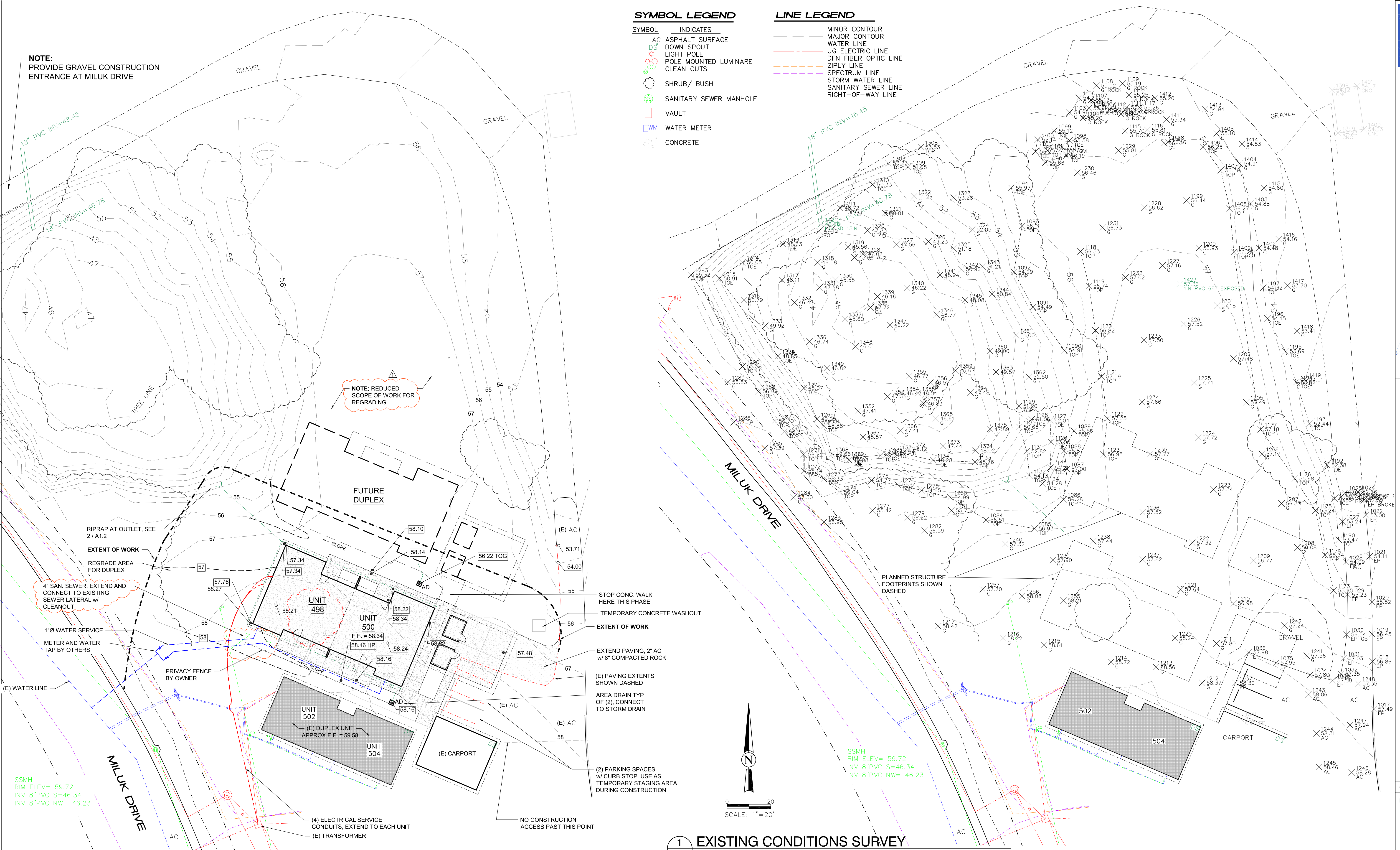
A1.1

SYMBOL LEGEND

SYMBOL	INDICATES
AC	ASPHALT SURFACE
DS	DOWN SPOUT
○	LIGHT POLE
○	POLE MOUNTED LUMINAIRE
○	CLEAN OUTS
○	SHRUB/ BUSH
○	SANITARY SEWER MANHOLE
□	VAULT
□	WATER METER
□	CONCRETE

LINE LEGEND

---	MINOR CONTOUR
---	MAJOR CONTOUR
---	WATER LINE
---	UG ELECTRIC LINE
---	DFN FIBER OPTIC LINE
---	ZIPLY LINE
---	SPECTRUM LINE
---	STORM WATER LINE
---	SANITARY SEWER LINE
---	RIGHT-OF-WAY LINE



1 EXISTING CONDITIONS SURVEY
SCALE: 1"=20'-0"

2 SITE PLAN
SCALE: 1"=20'-0"

LEGEND

XX.XX	EXISTING SPOT ELEVATION (INTERPOLATED)
XX.XX	FINISH SPOT ELEVATION
---	EXIST. CONTOUR LINES
---	REVISED CONTOUR LINE

NOTES

HORIZONTAL DATUM: OREGON STATE PLANE COORDINATES SYSTEM (NAD83/91) SOUTH ZONE, PER THE EXISTING TRIBAL CONTROL NETWORK BY THE DYER PARTNERSHIP PERFORMED IN 2002.

VERTICAL DATUM: THIS SURVEY IS ADJUSTED VERTICALLY TO NAVD88 AT CONTROL POINT 12(DYER).
CONTOUR INTERVAL:
MINORS: 1 FOOT
MAJORS: 5 FOOT

UNDERGROUND UTILITY NOTE:
UNDERGROUND UTILITY INFORMATION SHOWN IS BASED SHN'S UTILITY MAPPING PROJECT OF 2022.

EXISTING CONDITIONS SURVEY
LOCATED IN SECTION 31, TOWNSHIP 25 SOUTH,
RANGE 13 WEST, WILLAMETTE MERIDIAN, COOS
COUNTY, OREGON.

NOTE:
PROVIDE GRAVEL CONSTRUCTION
ENTRANCE AT MILUK DRIVE

NOTE: REDUCED
SCOPE OF WORK FOR
REGRAIDING

4" SAN. SEWER, EXTEND AND
CONNECT TO EXISTING
SEWER LATERAL w/
CLEANOUT

1"Ø WATER SERVICE
METER AND WATER
TAP BY OTHERS

SSMH
RIM ELEV= 59.72
INV 8" PVC S= 46.34
INV 8" PVC NW= 46.23

- STOP CONC. WALK
HERE THIS PHASE
- TEMPORARY CONCRETE WASHOUT
- EXTENT OF WORK
- EXTEND PAVING, 2" AC
w/ 8" COMPACTED ROCK
- (E) PAVING EXTENTS
SHOWN DASHED
- AREA DRAIN TYP
OF (2), CONNECT
TO STORM DRAIN
- (E) AC
- (E) AC
- (E) AC
- (2) PARKING SPACES
w/ CURB STOP. USE AS
TEMPORARY STAGING AREA
DURING CONSTRUCTION
- NO CONSTRUCTION
ACCESS PAST THIS POINT
- (E) TRANSFORMER

