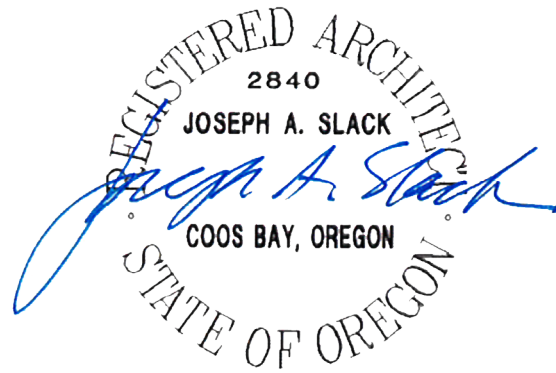


ADDENDUM #1 – OCTOBER 7, 2025

**RE: EASTSIDE FIRE STATION
Seismic Grant Upgrade REBID
Project #22.22.2**

**FROM: HGE ARCHITECTS, Inc.
333 South 4th Street
Coos Bay, Oregon 97420
541-269-1166**



TO: Prospective Bidders

This Addendum forms a part of the Contract Documents and modifies the original Documents dated September 2025, as noted below. Acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject Bidder to disqualification.

This Addendum consists of **ONE (1)** page(s) together with the following attachments:

- **Specification Section 31-6200 Steel Pipe Piles, including SSK-01 Unfactored Loading on Foundation Plan**
- **Hazardous Materials Inspection Addendum**
- **Pre-Bid Attendance Sheet (for information only)**
- **Plan Holders List with Architect's estimate, dated 10/3/25 (for information only)**

INFORMATION:

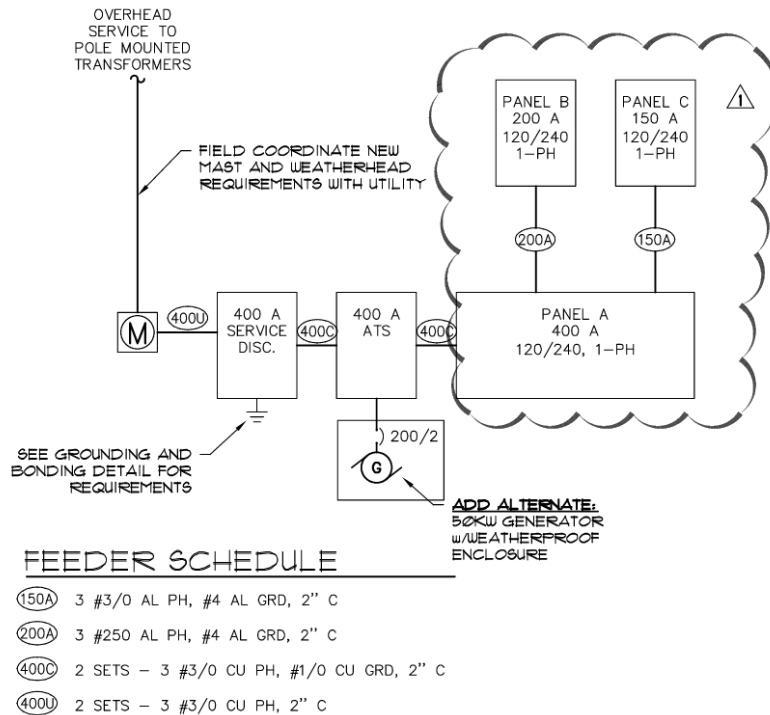
1. Original 1965 construction drawings for this building have been uploaded to the HGE website for project reference.
2. See attached Hazardous Materials Inspection Addendum. The existing roof assembly was inspected and found to contain no hazardous materials requiring abatement.

CHANGES TO PROJECT MANUAL:

1. **Section 01-2300 Alternates:** REVISE Paragraph 1.03 E, Alternate No. 5:
 - a. Base Bid Item: ADD "Provide flooring at second floor landing of Stair #21."
 - b. Alternate Item: REPLACE with the following: "In addition to Base Bid work, provide flooring in Day Room #22 and (3) Door Rooms #25, 26, 27, and provide all casework & countertops, kitchen sink, faucet, and garbage disposal. Range, hood, and refrigerator by Owner. Refer to Drawings and Specifications."
2. **Section 31-6200 Steel Pipe Piles:** ADD Section in its entirety, including sketch from DCI Engineers, SSK-01 Unfactored Loading on Foundation Plan, for dead and live line loads along walls for micropiles/helical piles. This loading plan is for the contractor's use in confirming pile quantity and layout, per request from potential bidder.

CHANGES TO DRAWINGS:

- Sheet AD2.2 2nd Floor and Roof Demo Plans:** ADD note at Restroom, "Existing flooring and plumbing fixtures to remain. Remove existing ceiling." Refer to Room Finish Schedule on Sheet A7.1.
- Sheet E1.0 Electrical Plan Symbols & Schedules:** REPLACE New 1-Line Diagram with revised 1-Line diagram attached below to add Panel B:



2 NEW 1-LINE DIAGRAM
E1.0 120/240 VOLT, 1-PHASE

- Sheet E2.0 Electrical Plan Lighting & Sheet E3.0 Electrical Plan Power & Data:** Next to Panel A, ADD Panel B with note "Panel 'B', 120/240 Volt, 1-Ph, 200 Amp."

SUBSTITUTION APPROVALS:

<u>SPECIFIED SECTION</u>	<u>SPECIFIED ITEM</u>	<u>APPROVED</u>
09-6500	Luxury Vinyl Tile (LVT)	Milliken Lumenology, Light Wash, LLW257 Lustering

END OF ADDENDUM #1

**SECTION 31-6200
STEEL PIPE PILES**

PART 1 - GENERAL

1.01 SECTION INCLUDES

- A. Drilled and Grouted Micropiles or,
- B. Helical Foundation Piles.

1.02 RELATED REQUIREMENTS

- A. Geotechnical Investigation Report - Earth Engineers dated February 7, 2025.
- B. Concrete: Section 03-3000.

1.03 SUBMITTALS

- A. Pile Design: Design drawings and calculations shall be prepared by a registered professional engineer who has at least 5 years documented experience in the design of micropiles or helical piles. The design shall include pile design and pile-footing connection design. The design shall conform with applicable provisions of the Building Code, Micropile and Helical Pile Design and Construction Guidelines, and accepted industry practice.
- B. Project Record Documents; Record:
 - 1. Sizes, lengths, and locations of piles.
 - 2. Sequence of driving.
 - 3. Pile capacity.
 - 4. Final tip and head elevations.

1.04 NOTICE

- A. Contractor is to provide notice to all businesses and residents within 500 feet of the property 48 hours prior to commencement of driving any pilings. The notice shall include a statement of hours of operation and duration of said driving. Pile driving and the use of other un-muffled equipment shall be limited to the hours between 8 A.M. and 5 P.M. each day.

PART 2 - PRODUCTS

2.01 MANUFACTURERS

- A. Helical Piles and Anchors:
 - 1. CHANCE Foundation Solutions, a Hubbel Company;
www.hubbell.com/chancefoundationsolutions.
 - 2. Ram Jack; www.ramjack.com.
 - 3. IDEAL Foundation Systems; www.idealfoundationsystems.com.
 - 4. Pileworks; www.pileworks.com.
 - 5. Substitutions: See Section 01-6000 - Product Requirements.

2.02 PILE DESIGN CRITERIA

- A. It is Contractor's responsibility to design, or obtain qualified design, of the micropile or helical foundations as indicated in Contract Documents.
 - 1. Information necessary for design that is contained in Contract Documents includes:
 - a. Locations of foundation elements.
 - 1) Note: Locations of piles shown in Contract Documents reflects the minimum required number of piles. Contractor may provide additional piles to reduce the per-pile loading.
 - b. Nominal design load for each foundation element, including dead load, live load and other loads required by building codes.
 - 2. Subsurface geotechnical data may be obtained from Geotechnical Report.

2.03 MATERIALS

- A. Drilled and Grouted Micropiles:
 - 1. Piles: Round drilled and grouted foundation piles, 6 inch diameter x 0.408 inches thick, with centered reinforcing bar and N80 casing in upper 20 feet.
 - 2. Length: Refer to Geotechnical Report, 40 feet minimum.
 - 3. Design load minimum: Refer to Geotechnical Report and Structural Drawings.
 - 4. Grout: Grout shall consist of a high performance, non-shrink grout with a minimum 28-day compressive strength of 5,000 psi.
- B. Helical Foundation Piles:
 - 1. Piles: As selected by Pile Designer to meet criteria of Geotechnical Report and Contract Documents.
 - 2. All Components: Hot-dipped galvanized in accordance with ASTM A123/A123M.

PART 3 - EXECUTION

3.01 EXAMINATION AND PREPARATION

- A. Use driving method which will not cause damage to nearby structures.

3.02 INSTALLATION

- A. Geotechnical Engineer must be present during pile installation and load testing.
- B. No pile shall be driven within two hundred (200) feet of structural concrete less than 7 days old.
 - 1. Unless authorized by the Architect, piles shall not be driven until after site has been cleared and grubbed for construction.
 - 2. Accuracy of Driving. Piles shall be driven at the locations as indicated on the Drawings or established by the Engineer, as accurately as possible in true line and position. All piles shall be driven plumb. Manipulation of piles to force them into position will not be permitted. Remove and redrive piles driven outside of alignment tolerances.
 - 3. Penetration. Drive piles continuously and without voluntary interruption, to the designed load capacity, to the "refusal" criteria as described in the Geotechnical Report. Exercise care during driving to prevent damage to the piles and to insure that the piles are located correctly.
 - 4. Damaged and Misplaced Piles. Piles which are damaged by reason of internal defects or by improper driving or injured below the cutoff elevation so as to render the pile useless for the purpose intended or are driven out of proper location or alignment shall be pulled and replaced at the expense of the Contractor.

5. Pile Cutoffs. The tops of piles shall be cut off on a true horizontal plane at the elevation indicated on the drawings.

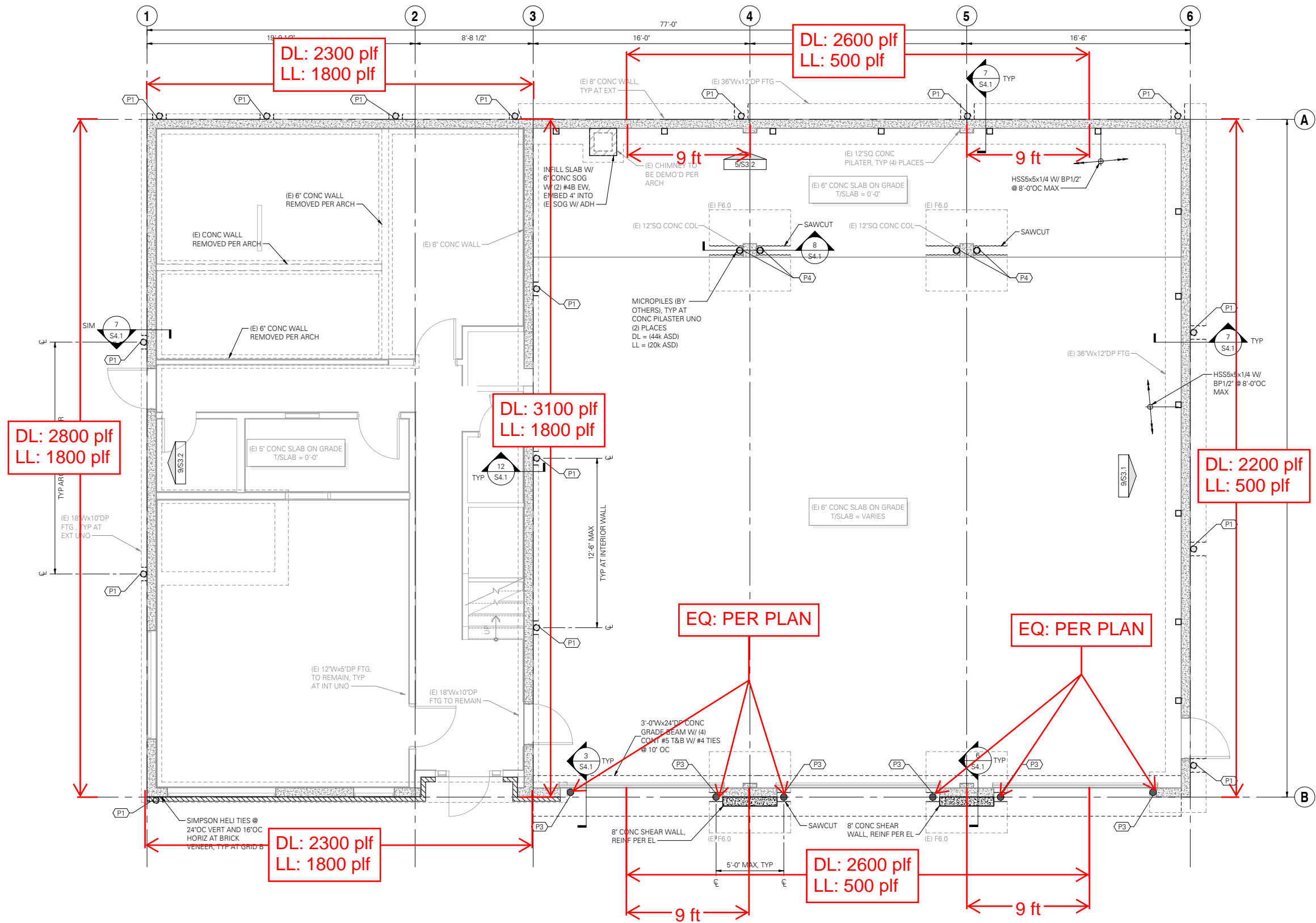
3.03 TOLERANCES

- A. Maximum Variation From Vertical For Plumb Piles: 1 in.
- B. Top Cut-off Elevation: Maximum 1/4 inch from elevation indicated.

3.04 LOADING PLAN

- A.

END OF SECTION



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PROJECT NAME:
EASTSIDE FIRE STATION SEISMIC GRANT UPGRADE

DESCRIPTION:
UNFACTORED LOADING ON FOUNDATION PLAN

PROJECT NO:
22031-0297

DATE:
10.06.2025

BY:
GCP

SKETCH NO:
SSK-01



EXPIRES: 12-31-25



HGE Architects, Inc
Attn: Dominic Librie
333 South 4th St
Coos Bay, Oregon 97420

June 16, 2025
Addendum October 3, 2025

Re: AE 25052699 CBF D Eastside Station 3 Hazardous Materials Inspection Addendum

You contracted for the asbestos survey of the Eastside Fire Station 3 located at 365 D St, Coos Bay, OR 97420. The inspection was conducted on June 3, 2025 by Ken Newman, an AHERA certified asbestos building inspector. This inspection was performed to identify any possible asbestos containing building materials prior to seismic upgrades of the building.



The structure is a 2 story building with a flat roof (2 levels) with PVC material, the siding is concrete with brick and wooden windows. The foundation is slab on grade. There is a large garage for fire trucks with an office, a rest room and a boiler room. There are no suspect materials in the garage. To the west of the garage is a large office to the front of the building with a walk in safe, the walls are mixed sheet rock and plaster, the ceiling is tile with mastic. The hallway between the two sections and behind the front office has tile and sheet flooring, stucco walls and ceilings, the hallway behind the office has a restroom, storage room and a small office. There are stairs in the hall leading to the second floor. There is a main room with 3 bunk rooms to the front, a kitchen and a second large room and a full bathroom off the second room. The kitchen has sheet flooring, the rest of the upstairs has carpet over tile.

3140 Ocean Blvd SE, PO Box 1290
Coos Bay OR 97420
541-808-3880
Oregon CCB # LBPR 211305

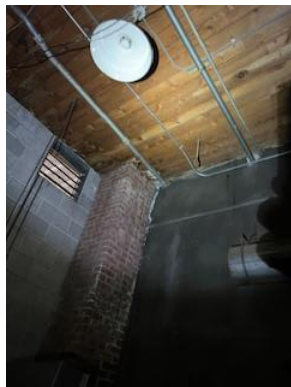
The survey was conducted according to EPA regulations in CFR 763. Subpart E and OSHA standards 29 CFR 1910 and 29 CFR 1926. No walls, ceilings or floors were penetrated to assess areas not visible during a normal inspection. No inaccessible areas were breached during this inspection unless otherwise noted. The inspection follows the AHERA guidelines for material description only, samples taken are based on the inspector's experience, OSHA guidelines and general protocols. The ACM (asbestos containing materials) classifications are SM (surfacing materials) TSI (thermal systems insulation) and MBM (miscellaneous building materials), their conditions will be described and they will be characterized as Friable or Non-friable, any volumes will be estimates only and not recommended for bidding purposes. All samples will be sent to a NVLAP (national voluntary laboratory accreditation program) Laboratory for analysis. Bulk samples will generally be analyzed by method PLM EPA 600/R-93/116 unless a different method is requested or required (consult lab report).

16 asbestos samples were taken during the inspection from
the interior and exterior of the building.

Sample #	Description	Condition	ACM %	Friable/NON
SVF 1	Front Entrance - Sheet Vinyl Flooring			
	- Green Sheet Vinyl	Good	Non-detect	N/A
	- Black Mastic	Good	Non-detect	N/A
FT 2	Floor Tile – Hall w/Mastic			
	- Brown Floor Tile	Good	4% Chrysotile	Friable
	- Black Mastic	Good	Non-detect	N/A
STM 3	Stair Tread Mastic			
	- Brown Mastic	Good	Non-detect	N/A
FT 4	Main Office Floor Tile – Green w/Mastic			
	- Green Floor Tile	Good	4% Chrysotile	Friable
	- Black Mastic	Good	Non-detect	N/A
FT 5	Main Office Floor Tile – Cream w/Mastic			
	- Cream Floor Tile	Good	4% Chrysotile	Friable
	- Black Mastic	Good	< 1% Chrysotile	Non-friable
SRW 6	Sheetrock Wall – Main Office			
	- White Sheetrock	Good	Non-detect	N/A
	- White Joint Compound	Good	Non-detect	N/A
TBM 7	Toeboard Mastic – Main Office			
	- Brown Mastic	Good	Non-detect	N/A
CM 8	Concrete Mastic – Main Office			
	- Black Mastic	Good	Non-detect	N/A
WP 9	Wall Plaster on Sheetrock – Main Office			
	- White Plaster	Good	Non-detect	N/A

CT 10	Ceiling Tile w/Mastic – Main Office			
	- Brown Tile	Good	Non-detect	N/A
	- Brown Mastic	Good	Non-detect	N/A
FT 11	Floor Tile, Brown – Under Carpet			
	- Yellow Mastic	Good	Non-detect	N/A
	- Brown Floor Tile	Good	3% Chrysotile	Friable
	- Black Mastic	Good	Non-detect	N/A
KFS 12	Kitchen Floor Sheeting – on Plywood			
	- White Sheeting	Good	Non-detect	N/A
TBM 13	Toeboard Mastic – Brown			
	- Brown Mastic	Good	Non-detect	N/A
SRW 14	Sheetrock w/Texture – South Wall			
	- White Sheetrock	Good	Non-detect	N/A
	- White Texture	Good	Non-detect	N/A
BM 15	Brick Mortar – Near Front Entrance			
	- Grey Mortar	Good	Non-detect	N/A
WP 16	Window Putty – West Windows			
	- Grey Putty	Good	2% Chrysotile	Friable

Volumes of Asbestos Containing Material varies and is unknown until carpeting is removed, additional investigation is required to verify locations of positive materials



Boiler Rm Chimney



Boiler



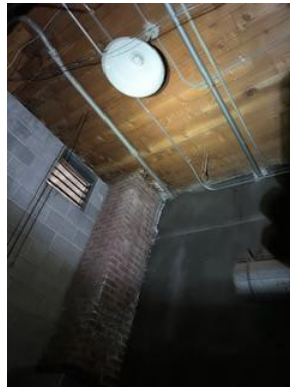
Garage Office



Garage Rest room



Garage



Garage boiler room



front of garage



Rest room 1



Rest room 2



Heating Pipes



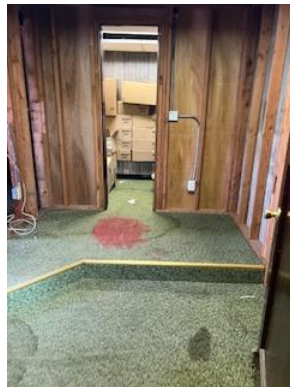
Heating Pipes



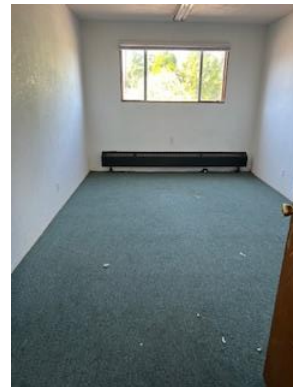
Storage Room 1



Storage room 2



storage room entrance



Small office



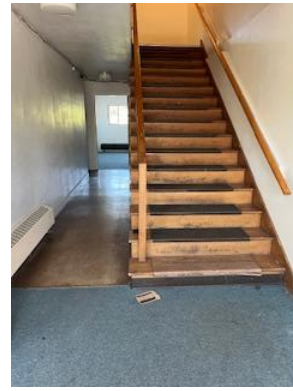
Deep sink



Stair tread



Hall tile flooring



Hall & stairs



Front office toeboard



Safe



Front office ceiling tile



Front office wall



Front office flooring



front office



upstairs bunk room



upstairs window sill



Upstairs bunk room



upstairs bunkroom

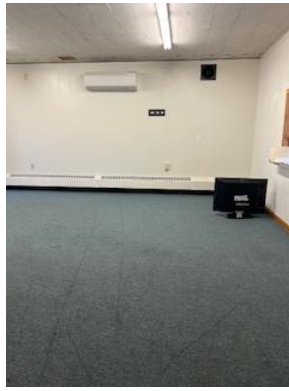


Bunkroom wall sample upstairs bunk room





Upstairs ceiling tile



Upstairs main room



upstairs flooring



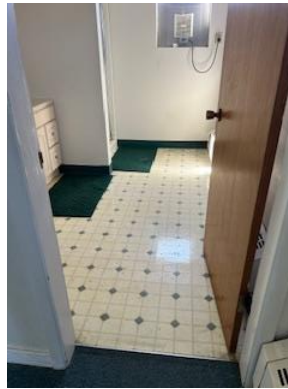
Propane tanks



UST HOT fill cap



UST HOT location



Upstairs bathroom



Upstairs bathroom



Upstairs room 2



Room 2 closet



Room 2



Garage doors

The building is an older structure with various upgrades over the years all suspect asbestos containing materials discovered were sampled, the materials positive for asbestos are floor tiles, and original window putty. One sample of floor mastic has trace Asbestos (<1%), it is recommended that all mastic removed with the floor tiles should be treated as ACM unless tested again to verify it is not ACM.

Lead Paint

1 Lead sample was taken from the building during the inspection from the exterior for analysis.

<u>Samples #</u>	<u>Location</u>	<u>% By weight</u>	<u>Lead</u>
MBS 11	Main Building Exterior Siding	0.275 %	NO

Lead Exposure Limits Paint

0.5% by weight HUD definition of lead-based paint
1.0 mg/cm²
5000 ppm

Due to the age of the building paint is frequently suspect for Lead, however, the use of the building is an indication the paint has been kept up to date and in good condition. The majority of the areas normally suspect for Lead Based Paint have been changed over time to include window sills and trim, door trim and exterior accent paints. The garage has limited paint as well, that paint was inspected and deemed to not be suspect.

The Lead sample results indicate the paint sampled is non-Lead Based and can be handled under normal demolition practices remodeling practices.

Addendum:

The roof was inspected and found to be PVC roofing over foam insulation padding on plywood. There are no suspect materials of the roof and the roof may be renovated at the owner's discretion.



If there are any suspect materials discovered during the remodel process all work must stop and a licensed asbestos building inspector contacted for identification.

If any questions or concerns arise regarding this report, please feel free to contact our office for clarification.

Inspector: Ken Newman, AHERA/ASHERA Inspector # IRO-25-4997B
Lead OHA Inspector# 2869 --Indv--I
Arcadia Environmental Inc. OR CCB LBPR 211305
PO Box 1290 Coos Bay OR 97420
541-808-3880/541-404-9919

Laboratory: SanAir Technologies Laboratory
10501 Trade Ct, Suite 100
N. Chesterfield, VA 23236
804-897-1177

Structure: Eastside Fire Station 3
365 D St
Coos Bay, OR 97420

Customer: HGE Architects, Inc
Attn: Dominic Librie
333 South 4th St
Coos Bay, Oregon 97420
541.269.1166 ext. 0249

Dates: Inspection, 03 June 2025
Report, 16 June 2025
Addendum, 03 October 2025

Respectfully,



Ken Newman
AHERA/ASHERA Inspector
Arcadia Environmental Inc



Eastside Fire Station

Seismic Grant Upgrade REBID

October 2, 2025, 11:00 AM

Mandatory Pre-Bid Walkthrough Attendance Sheet

NAME	COMPANY	TELEPHONE	EMAIL	BIDDING AS
Zach Wallace	Northwest Building Specialists	541-217-8589	Zach@nwbsroofing.com	<input type="checkbox"/> GC <input checked="" type="checkbox"/> SUB
Kyle Gilmore	Ram Jack West	541-654-9033	Kyle@ramjackwest.com	<input type="checkbox"/> GC <input checked="" type="checkbox"/> SUB
Cory Person	Pacific Foundation	360-307-5674	Cory@Pacific-foundation.com	<input type="checkbox"/> GC <input checked="" type="checkbox"/> SUB
Wes Plummer	Tri-County Plumbing	541-290-8723	wes@tri-countyplumbing.com	<input type="checkbox"/> GC <input checked="" type="checkbox"/> SUB
SCOTT Partners	SP Construction	541-756-7060	SCOTT@PARTNRY CONST.	<input checked="" type="checkbox"/> GC <input type="checkbox"/> SUB
TEARIS CASTER TIERX	CREATIVE CONTRACTING	503-407-1447	BIDS@CCTEAMS.COM	<input checked="" type="checkbox"/> GC <input type="checkbox"/> SUB
Tony Hanson	H3 GC	541 643-9129	Tony@H3 General Contractors	<input checked="" type="checkbox"/> GC <input type="checkbox"/> SUB
D. Elder	Vitus Construction	541-455-7177	Corey@vitugconstruction.com	<input checked="" type="checkbox"/> GC <input type="checkbox"/> SUB
KEVIN DAVIS	HATHAWAY'S INC	541-653-0522	KEVIN.D@HATHAWAYS INC.COM	<input type="checkbox"/> GC <input type="checkbox"/> SUB

NAME	COMPANY	TELEPHONE	EMAIL	BIDDING AS
Jeremy Nielsen	unitus-services	360-229-5840	bids@unitus-services.com	<input checked="" type="checkbox"/> GC <input type="checkbox"/> SUB
Keth Boulton	North Star	971-420-7407	kboulton@Northstar.com	<input type="checkbox"/> GC <input type="checkbox"/> SUB
Ron Johnston	McG. Christ & Sons Roofing	503 608 8610	Ron@McG. Christ Roofing	<input type="checkbox"/> GC <input type="checkbox"/> SUB
Sharon Sanders	LOI Environmental and Demolition	541-953-8301	S.Sanders@loienvironmental.com	<input type="checkbox"/> GC <input checked="" type="checkbox"/> SUB
ALEX KILGA	ORDELL CONSTRUCTION	541-255-7755	BIO@ORDELLCONSTRUCTION.COM	<input checked="" type="checkbox"/> GC <input type="checkbox"/> SUB
PATRICK TAVARES	PETERSON CAT	541-246-0925	PATAVAIRES@PETERSONCAT.COM	<input type="checkbox"/> GC <input type="checkbox"/> SUB
MATT WOLF	STAR RENTALS	541-228-6773	MATT@STARRENTALS.COM	<input type="checkbox"/> GC <input type="checkbox"/> SUB
Andy Brentano	DSL Builders	971-707-2694	andybedsbuilders.com	<input checked="" type="checkbox"/> GC <input type="checkbox"/> SUB
TOM K. GAYBOWSKI	Tom K. Gaybowski Construction, Inc	541-267-7822	tomk13@frontier.com	<input checked="" type="checkbox"/> GC <input type="checkbox"/> SUB

Eastside Fire Station
Seismic Grant Upgrade REBID
October 2, 2025, 11:00 AM

Mandatory
Pre-Bid Walkthrough
Attendance Sheet

NAME	COMPANY	TELEPHONE	EMAIL	BIDDING AS
TRON FURWELL	CBCONST.US	541-263-1555	TRON@CBCONST.US	<input checked="" type="checkbox"/> GC <input type="checkbox"/> SUB
TIM EARP	NORTHWEST SOIL STABILIZATION	707-637-6091	TEARP@NWSOIL.COM	<input type="checkbox"/> GC <input checked="" type="checkbox"/> SUB
Porter Forz	Reese Electric	541-756-0581	PFolz2@ReeseElectric.com	<input type="checkbox"/> GC <input type="checkbox"/> SUB
Joseph Preter	Lindstrom Const	360 448-3749	J.lindstromconstruction@gmail.com	<input checked="" type="checkbox"/> GC <input type="checkbox"/> SUB
				<input type="checkbox"/> GC <input type="checkbox"/> SUB
				<input type="checkbox"/> GC <input type="checkbox"/> SUB
				<input type="checkbox"/> GC <input type="checkbox"/> SUB
				<input type="checkbox"/> GC <input type="checkbox"/> SUB
				<input type="checkbox"/> GC <input type="checkbox"/> SUB

PLANHOLDERS LIST

Project Number and Name: 22.22.2 Eastside Fire Station Seismic Grant Upgrade REBID

Bid Opening Time and Date: October 16, 2025, 2PM

Bid Opening Location: Virtual, See Advertisement for Bid

Deposit Amount: \$100 Architect's Estimate: \$ \$1 mil

	Company Name	Category	Contact Person	Email	Phone
OWNER					
	City of Coos Bay	Owner	Jeff Adkins, Fire Chief	jadkins@coosbayor.gov	541.269.1191 x3301
DESIGN TEAM					
	HGE ARCHITECTS, Inc.	Architect/ Project Manager	Joseph Slack Dominic Librie	joeslack@hge1.com dlibrie@hge1.com	541.269.1166
	DCI Engineers	Structural Eng.	Kyle Kraxberger	kkraxberger@dc-engineers.com	503.242.2448
	Double E Engineering	Elec. Eng.	Greg Pride	greg@ee-engineering.com	541.294.0587
PRIME / GENERAL CONTRACTORS (GC)					
	CB Const.us	GC	Troy Farwell	troy@cbconst.us	541.263.1555
	Creative Contracting	GC	Travis Carter Tilley	bids@cciteams.com	503.407.1447
	DSL Builders	GC	Andy Brentano	andyb@dsl-builders.com	971.707.2694
	H3 General Contractors	GC	Tony Hansen	tony@h3generalcontractors.com	541.643.9129
	Legacy Contracting, Inc.	GC	Jeff Howell	bids@legacycontractinginc.com	503.749.1818
	Lindstrom Construction	GC	Joseph Prater	j.lindstromconstruction@gmail.com	360.448.3749
	Ordell Construction	GC	Alex King	bids@ordellconstruction.com	541.255.7755
	Scott Partney Construction	GC	Scott Partney Jeremy Howell	scott@partneyconstruction.net jeremy@partneyconstruction.net	541.756.7060
	Tom E Gayewski Construction, Inc.	GC	Tom R. Gayewski	tomski3@frontier.com	541.267.7822

PLANHOLDERS LIST

Project Number and Name: 22.22.2 Eastside Fire Station Seismic Grant Upgrade REBID

Bid Opening Time and Date: October 16, 2025, 2PM

Bid Opening Location: Virtual, See Advertisement for Bid

Deposit Amount: \$100 **Architect's Estimate:** \$ \$1 mil

	Company Name	Category	Contact Person	Email	Phone
	Unitus Services	GC	Jeremy Nielsen	bids@unitus-services.com	360.229.5840
	Vitus Construction	GC	Win Elder	Corey@vitusconstuction.com	541.855.7177

SUBCONTRACTORS (SUB) / SUPPLIERS (SUPP)

	LOI Environmental and Demolition	Sub	Sharon Sanders	s.sanders@loienviro.com	541.953.8301
	Mcgilchrist & Sons Roofing	Sub	Ron Johnston	ron@mcgilchristroofing.com	503.308.8610
	Northstar	Sub	Keith Boulton	kboulton@northstar.com	97420.7407
	Northwest Building Specialists	Sub	Zach Wallace	zach@nwbsroofing.com	541.217.8589
	Northwest Soil Stabilization	Sub	Tim Earp	tearp@nwsoil.com	707.263.1555
	Pacific Foundation	Sub	Cory Perron	cory@pacific-foundation.com	360.907.5674
	Ram Jack West	Sub	Kyle Gilmore	kyle@ramjackwest.com	541.654.9033
	Reese Electric	Sub	Porter Foltz	pfoltz@reeseelectric.com	541.756.0581
	Tri-County Plumbing	Sub	Wes Plummer	wes@tri-countyplumbing.com	541.290.8723
	Hathaways Inc	Sup	Kevin Davis	kevind@hathawaysinc.com	541.653.0522
	Peterson Cat	Sup	Patrick Tavares	patavares@petersoncat.com	541.246.0925
	Star Rentals	Sup	Matt Wolf	mattw@starrentals.com	541.228.6773

PLANHOLDERS LIST

Project Number and Name: 22.22.2 Eastside Fire Station Seismic Grant Upgrade REBID

Bid Opening Time and Date: October 16, 2025, 2PM

Bid Opening Location: Virtual, See Advertisement for Bid

Deposit Amount: \$100 **Architect's Estimate: \$ \$1 mil**

	Company Name	Category	Contact Person	Email	Phone
PLAN EXCHANGES (Exch)					
	DJC Plan Center	Exch	Plan Room	plancenter@DJCOregon.com	503-274-0624
	Seattle DJC	Exch		plans@dj.com	206-622-8272
	Builders Exchange of Washington, Inc.	Exch	Production Dept.	production@bxwa.com	425-258-1303
	Eugene Builders Exchange	Exch	Jeremy Moritz	info@ebe.org	541-484-5331
	Plan Center Northwest	Exch	Brie Kidwell	brie@plancenternw.com	503-650-0148
	Salem Contractors Exchange	Exch	Lori Klopfenstein	lori@sceonline.org	503-362-7957
	Premier Builders Exchange	Exch	Kendra Connelly Chyna Kennedy	admin@plansonfile.com	541.389.0123
	Medford Builders Exchange	Exch	Tim O'Sullivan	planroom@medfordbuilders.com	541.773.5327
	Dodge Data & Analytics	Exch	Adam Bouman	projectdata@construction.com	800-768-5594
	Tri-City Construction Council	Exch	Kailey Casey	bidinfo@tcplancenter.com	509.582.7424
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